

Building & Landscape Design Guidelines

ERSKINE PARK URBAN REINVESTMENT PROJECT

PENRITH



PENRITH
CITY COUNCIL



Table of Content

01	INTRODUCTION
02	DESIGN VISION
03	DESIGN REVIEW PROCESS
04	GENERAL DESIGN GUIDELINES
	- Roof
	- Facade Articulation - Environmental
	- Materials Finishes & Colours
	- Waste Storage & Ancillary Services
05	FENCING
	- Materiality
	- Fence Types
06	LANDSCAPING
	- Front Setback
	- Tree Provision
	- Retaining Walls
	- Letterboxes
	- Plant Selection
07	MATERIALS COLOUR PALETTE
08	PLANT SPECIES
09 - 15	SITE LAYOUT PLANS
	- Swallow Drive & Regulus Street
	- Dilga Crescent
	- Pacific Road
	- Capella Street
	- Chameleon Drive
	- Ashwick Circuit
16	DOCUMENTATION CHECKLIST

Introduction



The purpose of these Building and Landscape Design Guidelines is to enable the design and development of dwellings that are contemporary in nature and incorporate design elements that together will breathe new life into the residential character and amenity of Erskine Park.

These guidelines will form part of the Contract of Sale for each lot, and have been produced to help compliment and enhance the existing amenity of Erskine Park, whilst protecting the investment being made in any new dwelling built as part of this project.

The Erskine Park Design Review Panel (DRP) has been established to evaluate all proposed home designs on the subject lots. Builders/purchasers must submit their house designs along with their landscape plans for review and approval by the DRP prior to lodgment of the DA/CC or CDC.

These guidelines apply in addition to and not in lieu of other statutory requirements and approvals. Approval from Penrith City Council or a registered building certifier will be required in addition to any approval given by the Erskine Park Design Review Panel (DRP). To the extent of any inconsistency between these guidelines and any site specific Development Control Plan (DCP), the DCP prevails.

While the design, submission and approval process will be subject to the controls set out in this guideline, variations are at the absolute discretion of the DRP.

The guidelines make reference to the following design elements:

- Roof forms, angles/pitches
- Facade treatments
- Building material, finishes and colours
- Fences
- Ancillary structures and receptacle storage
- Landscaping

Site specific guidelines incorporating site layout plans, suggested building envelope, tree retention and building setbacks also form part of this document.

Design Vision

Our vision is to create contemporary homes that incorporate design elements that breathe new life into the residential amenity of Erskine Park

Windows

Windows on the street facade and facing public reserves to have vertical proportions and be awning or double hung.

Building Materials

External walls should be a mix of materials in colours selected from the materials colour palette. Front and secondary facades (corner sites) and those facing reserves , should feature face brickwork , painted rendered masonry. natural stone or cladding.

Garage Doors

Any garage door that faces the street must be a sectional panel or panel lift style. Roller doors are not permitted.

Front Entry and Letterbox

Front door to be visible from the street. Provide weather protection to dwelling entry. Letterboxes to be constructed of masonry material and be integrated with landscaping.

Driveway and Vehicle Crossover

Driveways and path to be unit paving, exposed aggregate or coloured concrete (broom finish) in a colour selected from the material colour palette. Driveways and path to be consolidated to provide as much soft landscaping as possible to front setback.

Facade Presentation

Add interest to the street presentation through articulation, utilising a mix of materials and architectural details such as parapets .

Roof

Roof material to be either tiles or Colorbond metal roofing. Colours such as mid - range greys to charcoal are suitable.

Environmental

600mm eaves are required and utilise shading window hoods where appropriate to help control thermal comfort within the dwelling.

Side and Rear Fencing

The colour of fencing behind the building line to be selected from the materials colour palette. Front pier to be masonry with finish / colour to be consistent with the facade.

Side Gates

Side gates and side returns to be slatted timber, or powder coated aluminium slats. Battens, can be fixed horizontally or vertically. Colours to be co-ordinated with other boundary fencing.

Landscaping

Plant species to be minimum 50% Australian natives. Provide at least one 5 - 7m tree (at maturity) in the front setback



Design Review Process



The design review process is an integral part of shaping the built form outcomes developed on the project sites. Whilst creating individual design and character for each home is encouraged, it is important that the design elements outlined in the Design Guidelines are incorporated into each design to create consistent design quality and assist in preserving the residential amenity of Erskine Park.

STEP 1
DWELLING DESIGN

Builder/purchaser prepares the house design for the lot taking into consideration the requirements of these design guidelines and the planning and building requirements for DA/CC/CDC approval.

STEP 2
DESIGN APPROVAL

Once the design has been prepared, the house and landscape plans will need to be submitted to the Design Review Panel to ensure the design meets the requirements of these guidelines.

STEP 3
MARKETING OF HOUSE & LAND PACKAGE
(if applicable)

Following approval of the DRP, marketing of the House & Land Package can commence.

STEP 4
ADAPTION OF DESIGN AND 2nd DESIGN REVIEW
(if applicable)

Adaptation of Design and 2nd Design Review (if applicable)

STEP 5
STATUTORY DWELLING APPROVAL

Once approval for the design has been provided from the DRP, application can then be made for Development and Building approval from Penrith City Council (or an approved private certifier) via the DA/CC or CDC process.



General Design Guidelines

The following design elements apply to all of the sites. The below image is an example of a potential typical street elevation.

Roof

Forms are to be broken down into smaller roofs, lower level roofs and parapets are to provide articulation & break down bulk of the two storey forms. Upper level parapets are not permitted.

Single level roof pitch is to be 25° with upper level roofs to be a minimum 22°. Skillion roofs to be restricted to the rears of houses only and are not to be visible from the street.

Facade Articulation

Parapets to provide facade articulation & break down building mass can be provided on lower levels only and limited to a maximum of 50% of the overall facade width. Upper level parapets are not permitted.

A minimum of 2 setbacks from the street are required as demonstrated in the site specific layout plans. The wall containing the garage door is to be setback a minimum distance of 1 metre from the main facade.

Double garages are permitted for single dwellings. For dual occupancies, site widths limit the amount of facade available for street activation, so single garages and carports incorporated into the facade and roof design are recommended to provide opportunities for additional under cover parking on site.

A clear entry path to the dwelling from the street is to be provided. The front door is to be visible from the street, with at least one habitable room window to the front facade. Where sites are located on corners or adjacent to reserves, habitable room windows are to be incorporated into facades overlooking the secondary street and/or reserve.

Materials, Finishes & Colours

The front elevation must be predominantly face brick, excluding doors and windows in order to maintain interest and diversity. The primary façade must include at least two finishes and include at least one of the following:

- Timber or stone feature
- Feature / contrast render
- Cladding material

Face bricks forming the main wall material are to be generally flat-faced, square-edged and not deeply textured. The brick colour is to be uniform throughout the brick and provide a consistent wall colour.

Pale or white coloured bricks are not permitted. Mid tone bricks are preferred. Highlights of complementary colours for window frames, gutters and downpipes and garage doors are to be selected from the materials colour palette.

The roof material can be either tiled or metal Colorbond roofing. Colours are to be selected from the materials colour palette, or similar, and will require approval at the design stage of the project.

Environmental

Shading devices to provide facade articulation, including awnings, sun-hoods, solar screens, pergolas and recesses, are to be included rather than attaching "stuck-on" details to gable ends and verandahs. A deep eaves overhangs of 600mm is required.

Waste Storage and Ancillary Services

All waste storage bins and ancillary services are to be located securely behind the main front building alignment.

Rainwater tanks and air conditioning condenser units are not to be visible from the street or public reserves. Electrical metre boxes are to be mounted to the side of the dwelling and in accordance with the electricity authority's requirements.

Antennas and satellite dishes are to be located so that they are not visible from the street, as well as not obstructing views from neighbouring properties.



TYPICAL STREET ELEVATION

Fencing

Materiality

Fences are to be co-ordinated with the materials colour palette. For fences that are visible from the public realm, a face brick or painted and rendered masonry base and piers with infill panels are required. The panels are to be batted / slatted in either painted timber or powder coated aluminium. For fences within the sites, not visible from the street or a reserve, the fence can be lapped and capped timber paling, masonry with slatted infill, slatted aluminium or Colorbond.

Security side gates and / or block off fences are to be provided to the sides of dwellings, behind the front building alignment. Slatted timber, or powder coated aluminium slats/ battens, can be fixed horizontally or vertically. Refer to Fig 3. Colours to be co-ordinated with other boundary fencing.

To ensure that the new dwellings are well integrated into the existing Erskine Park neighbourhoods, details for different fencing applications are outlined below.

Fence Types

Type A Front Boundary

To be predominantly soft landscaped with a maximum 30% of built fencing. If incorporating a front fence, it is to be a maximum of 600mm high. Hedges or low planting (soft landscaping) is to define the property boundary, unless a retaining wall is required. Refer to Fig 1 and Fig 4.

Type B Adjacent to Reserve

Fences adjoining the public realm or public reserves are to be a maximum of 1.8 metres in height and are to be stepped on sloping sites, following the natural topography of the land. Continuous solid fences are not permitted. Fences are to be segmented with masonry piers in conjunction with batten in-fill panels. Refer to Fig 2.

Type C Behind building line along boundary shared with other dwellings

Fences are to be a maximum 1.8 metres in height and be stepped on sloping sites.

Type D Shared side boundaries forward of building line

Fences are to be a maximum 1.2 metres in height, and be the same construction as front fencing. If no fence is built along the front boundary and planting is used to define the property, then the same treatment is to be used along the side boundaries in the front setback area.

Type E Secondary Boundary - Swallow Dr and Chameleon Dr - Corner Lots

The fence on the secondary boundary on Swallow Drive to be a maximum of 1.8 metres high and be no more than 50% of the dwelling frontage in that location. 400mm width landscaping is to be integrated into the fencing design. A built fence line of a maximum of 1.2 metres in height to be provided along shared ways to avoid privacy and security issues.



Type A. Soft Landscape to define front property boundary



Fig 2. Segmented fence with batten infill panels



Fig 1. Soft Landscape to define front property boundary



Type E. Integrated landscape



Type B & C. Timber & basalt finish

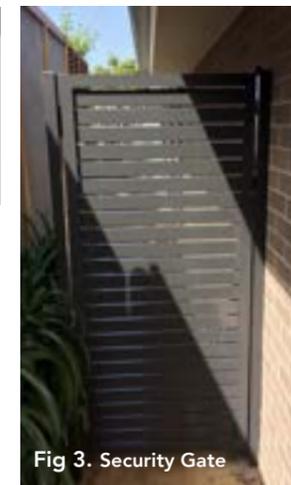


Fig 3. Security Gate



Fig 4. Low retaining boundary wall



Type D. Soft Landscape as side boundary & front building line

Landscaping



Fig 2. Mix of trees shrubs and accent planting



Fig 3. Tree in front setback



Fig 1. Native Landscaping



Fig 7.



Fig 1. Native plants



Fig 6. Low retaining walls with integrated landscape



Fig 5. Retaining wall with additional planting



Fig 4. Minimum of one tree in front setback

The site layout plans for each site provide details of areas allocated for landscaping, driveways and dwelling footprints. These have been derived from the development standards outlined in the Penrith DCP landscape requirements. Existing trees to be retained have also been indicated. Other trees may be retained if desired. A landscaping plan is required to be submitted as part of the design review process. This plan is to be prepared by a suitably qualified landscape professional. The installation of landscaping in the front setback area of the site is to be completed by a suitably qualified landscape contractor.

Front Setback

The area of soft landscaping is to be maximised. Soft landscaping can be grass and / or low level planting. Mixed species of trees, shrubs and accent planting is to be incorporated in the front setback garden. A minimum of 50% of the planting is to be Australian natives. Refer to plant species list provided on page 08 / Fig 1. Hard paved areas are restricted to driveways and paths to entry area. Driveways are to be constructed with either a broom finished coloured concrete or unit pavers. No driveways or pathways in the front setback are to be patterned stencilled or stamped concrete.

Tree Provision

A minimum of one tree with a mature height of 5 - 7 metres is to be planted in the front setback (minimum 75 litre pot size), and another tree, with a minimum mature height of 8 - 10 metres is to be planted in the rear setback (minimum 50 litre pot size). If an existing tree is to be retained in either setback, an additional tree will not be required in that location. Refer to Fig 2, Fig 3, Fig 4.

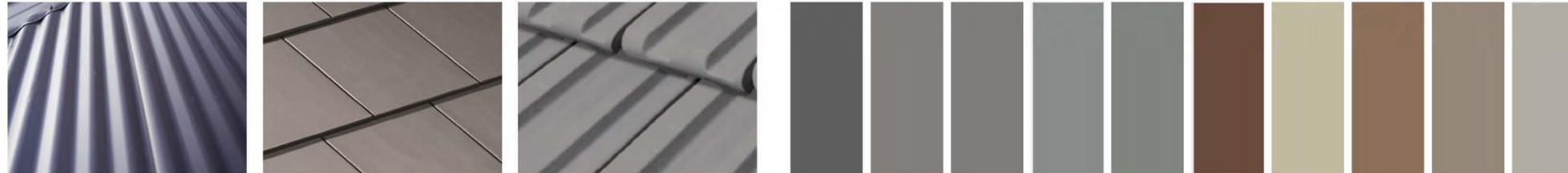
Retaining Walls

The maximum height of garden retaining walls is to be 900 mm generally, however, retaining walls along the front/street boundary is to be a maximum of 600 mm. If additional height is required, then additional retaining walls are to be separated by a 500 mm width of planting. Fig 5 Retaining walls are to be split faced concrete block, sandstone or painted and rendered masonry. Refer to Fig 6.

Letterboxes

If a built fence is to be provided, then a letterbox is to be integrated. Otherwise letterboxes will be 'stand alone' either built into a plinth which can be face brick, or rendered and painted to match the dwelling and according to the provided materials colour palette. Mailboxes are to be located on the front boundary, adjacent to the entry path and / or driveway. Refer to Fig 7.

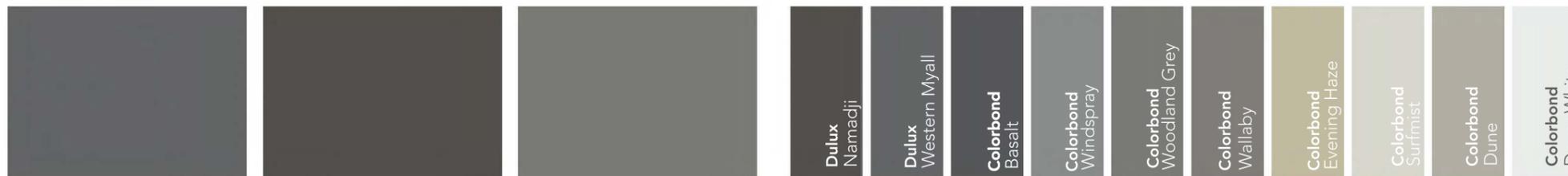
Materials Colour Palettes



ROOF

Roofs are to be pre - painted metal, tiles, slate or concrete and consist of a single colour and material.

Highly reflective materials such as Zincalume are not permitted. Black or charcoal coloured roofs to be avoided to minimise heat load. Colours such as Colorbond Basalt, Colorbond Wallaby or lighter are preferred. Bright red terracotta, bright blue, pure black or pure white are not permitted.



ACCENT / FRAMES / DOORS / GUTTERS DOWNPIPES / FASCIA / FENCE

Suitable for window frames , entry doors, gutters, downpipes, fascias and garage doors. Darker stronger colours to be limited to small areas as highlights and articulation.

Accent colours to co - ordinate with base facade colours. For example warmer tones with warmer highlights etc. Cool greys with blue / grey highlights.



CLADDING / WEATHERBOARD / PAINT / RENDER

External walls must contain at least two complementary external finishes. Lightweight wall panels and rendered areas of masonry to be painted with light cream and grey colours. Strong dark colours on wall areas to be avoided. Smaller areas can be painted in accent colours to articulate facade. Co-ordinate warm tones with warmer highlights. Cool greys with blue / grey toned highlights.



MASONRY / FACE BRICK / FENCE / PAVERS

Face brick to be the main wall material. Flat, smooth faced bricks or lightly textured bricks are acceptable. Light to mid coloured tones will reflect heat. White colour bricks are not permitted. Darker bricks to be avoided as they will absorb and hold heat. Pavers encouraged to add texture. Tinted concrete driveways and paths to be coordinated with face brick colour



TEXTURES / LANDSCAPE / FENCE / FACADE / HIGHLIGHT

Inclusion of natural materials, such as stone, timber, and weathered steel add texture and warmth to the streetscape. Small highlights of natural material enhance the presence of the dwelling in the neighbourhood. Paving is also encouraged to add texture.

MATERIALS

COLOURS

Plant Species

ACCENT PLANTS	COMMON NAME	MATURE
<i>Agave attenuata</i>	Soft-leaved Agave	1m
<i>Alcantarea imperialis rubra</i>	Giant Bromeliad	0.12m
<i>Asplenium australasicum</i>	Birds Nest Fern	0.5m
<i>Beschorneria yuccoides</i>	Mexican Lily	1m
<i>Cycas revoluta</i>	Cycad	1m
<i>Doryanthes excelsa</i>	Gynea Lily	2m
<i>Philodendron 'Congo'</i>	Philodendron	1m
<i>Sansevieria trifasciata</i>	Mother-in-Laws Tongue	1m
<i>Strelitzia reginae</i>	Bird of Paradise	1.5m
<i>Xanthorrhoea sp.</i>	Grass Tree	1.5m
<i>Zamia furfuracea</i>	Cardboard Palm	1m

SCREENING HEDGES		
<i>Acmena smithii 'Forest Flame'</i>	Forest Flame Lillypilly	2m
<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	1.75m
<i>Camellia sasanqua 'Setsugeka'</i>	White Camellia	4m
<i>Camellia sasanqua 'Yuletide'</i>	Red Camellia	1.5m
<i>Metrosideros 'Tahiti'</i>	NZ Christmas Bush	2m
<i>Michelia figo 'Coco'</i>	Port Wine Magnolia	3m
<i>Murraya paniculata</i>	Orange Jessamine	3m
<i>Photinia glabra 'Rubens'</i>	Dwarf Photinia	3m
<i>Prostanthera sieberi 'Minty'</i>	Purple Mint Bush	2m
<i>Syzygium australe 'Resilience'</i>	Lillypilly	3m
<i>Syzygium australe 'Pinnacle'</i>	Narrow Lillypilly	6m
<i>Viburnum odoratissimum</i>	Sweet Viburnum	2.5m

SMALL HEDGES / SHRUBS		
<i>Acmena smithii 'Allyn Magic'</i>	Allyn Magic Lillypilly	1m
<i>Adenanthos sercieus 'Baby'</i>	Dwarf Woolly Bush	1.5m
<i>Buxus microphylla var. japonica</i>	Japanese Box	1m
<i>Gardenia augusta 'Florida'</i>	Florida Gardenia	0.8m
<i>Grevillea 'Superb'</i>	Superb Grevillea	1m
<i>Lavandula dentata</i>	French Lavender	1m
<i>Nandina domestica 'Blush'</i>	Dwarf Sacred Bamboo	0.6m
<i>Nandina domestica 'Flirt'</i>	Dwarf Sacred Bamboo	0.4m
<i>Philotheca 'Winter Rouge'</i>	Philotheca	0.8m
<i>Raphiolepis 'Snow Maiden'</i>	Raphiolepis	1m
<i>Westringia 'Wynyabbie Gem'</i>	Dwarf Native Rosemary	1.5m
<i>Callistemon salignus</i>	Bottlebrush	1-10m
<i>Callistemon citrinus 'Kings Park'</i>	Bottlebrush	4m
<i>Callistemon viminalis</i>	Bottlebrush 'Dawson River weeper'	5m
<i>Melaleuca linariifolia</i>	'Claret Tops'	1.2m
<i>Melaleuca thymifolia</i>	Thyme Honey Myrtle	1.2m

BORDER / BEDDING PLANTS		
<i>Agapanthus roseus</i>	Agapanthus	0.8m
<i>Convolvulus cneorum</i>	Convolvulus	0.6m
<i>Dianella species</i>	Flax Lily	0.4m
<i>Dietes grandiflora</i>	Wild Iris	1m
<i>Liriope species</i>	Liriope	0.45m-0.6m
<i>Lomandra 'Crackerjack'</i>	Fine-leafed Lomandra	0.5m
<i>Ophiopogon japonicus 'Nana'</i>	Dwarf Mondo Grass	0.1m
<i>Ophiopogon 'Stripey White'</i>	Stripey White Mondo Grass	0.4m
<i>Philodendron 'Xanadu'</i>	Philodendron	0.5m
<i>Tulbaghia violacea 'Varigated'</i>	Varigated Society Garlic	0.3m
<i>Zephyranthes candida</i>	Autumn Crocus	0.3m

GROUND COVERS		
<i>Ajuga reptans 'Caitlins Giant'</i>	Bugle Weed	0.3m
<i>Arctotis species</i>	African Daisy	0.25m
<i>Brachyscome multifida</i>	Cut Leaf Daisy	0.3m
<i>Carpobrotus glaucescens</i>	Pig face	0.2m
<i>Convolvulus mauritanicus</i>	Convolvulus	0.6m
<i>Dichondra 'Silver Falls'</i>	Silver Falls	0.3m
<i>Grevillea 'Mt Tamboritha'</i>	Prostrate Woolly Grevillea	0.4m
<i>Hibbertia scandens</i>	Golden Guinea Flower	0.4m
<i>Myoporum parvifolium</i>	Creeping Boobiella	0.2m
<i>Senecio 'Chalksticks'</i>	Blue Chalk Sticks	0.3m
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3m



TREES	COMMON NAME	MATURE
<i>Acacia melanoxylon</i>	Australian Blackwood	12m
<i>Acer buergerianum</i>	Trident Maple	6m
<i>Acer negundo 'Sensation'</i>	Purple Stick Box Elder	9m
<i>Acer negundo 'Aureo-marginatum'</i>	Box Elder Aureomarginata	8m
<i>Acer negundo variegatum</i>	Ghost Box Elder Maple	8m
<i>Acmena smithii</i>	Lilly Pilly Tree	10m
<i>Angophora bakeri</i>	Narrow leafed apple	9m
<i>Angophora hispida</i>	Dwarf Apple Gum	6m
<i>Arbutus unedo</i>	Irish Strawberry tree	7m
<i>Bauhinia variegata</i>	Orchid Tree	6m
<i>Backhousia myrtifolia</i>	Cinnamon myrtle	4m
<i>Brachychiton populneus</i>	Kurrajong	10m
<i>Brachychiton rupestris</i>	Bottle Tree	5m
<i>Buckinghamia celissima</i>	Ivory Curl Tree	7m
<i>Calodendrum capense</i>	Cape Chestnut	10m
<i>Ceratonia siliqua</i>	Carob tree	8m
<i>Corymbia citriodora 'scentuous' (dwarf form)</i>	Lemon scented gum (dwarf)	10m
<i>Corymbia eximia</i>	Yellow bloodwood	8m
<i>Cupaniopsis anacardioides</i>	Tuckeroo	7m
<i>Exocarpus cupressiformis</i>	Native cherry	4m
<i>Fraxinus augustifolia</i>	Desert Ash	12m
<i>Fraxinus griffithii</i>	Evergreen ash	7m
<i>Geijera parvifolia</i>	Wilga	8m
<i>Hymenosporum flavum</i>	Australian frangipani	7m
<i>Jacaranda mimosifolia</i>	Jacaranda	10m
<i>Koeluteria paniculata</i>	Golden rain Tree	6m
<i>Lagerstroemia indica - Indian Summer range</i>	Crepe Myrtle	4-8m
<i>Liquidamber styraciflua 'festeri'</i>	Sweet gum	8m
<i>Magnolia grandiflora</i>	Magnolia	8m
<i>Melaleuca bracteata</i>	Black tea tree	4m
<i>Melaleuca decora</i>	White feather honey myrtle	8m
<i>Melaleuca linariifolia</i>	Snow in summer	6m
<i>Melaleuca quinquinervia</i>	Paperbark	8m
<i>Melaleuca stypheliodes</i>	Prickly paperbark	6m
<i>Melia azedarach</i>	White cedar	12m
<i>Melia azedarach</i>	Royal Empress tree	10m
<i>Pistacia chinensis</i>	Chinese pistachio	7m
<i>Pittosporum rhombifolium</i>	Diamond leafed pittosporum	8m
<i>Podocarpus elatus</i>	Illawarra plum	8m
<i>Pyrus calleryana 'Capital'</i>	Ornamental pear - Capital	9m
<i>Pyrus calleryana 'Chanticleer'</i>	Ornamental pear- Chanticleer	12m
<i>Pyrus ussuriensis</i>	Ornamental Manchurina pear	9m
<i>Quercus palustris pringreen pillar</i>	Green pillar	12m
<i>Tipuana tipu</i>	Rosewood	10m
<i>Tristanopsis laurina (incl. 'Luscious')</i>	Kanooka	7m
<i>Ulmus parvifolia (incl. 'Todd & 'Murrays Form')</i>	Chinese Elm	8m
<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	10m
<i>Zelkova serrata (incl. green Vase')</i>	Japanese elm	10m

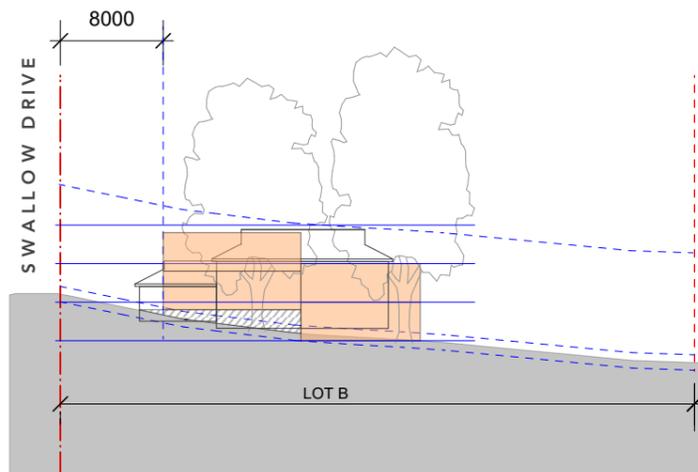


PENRITH

SITE LAYOUT PLANS

- 10 SWALLOW DRIVE & REGULUS STREET
- 11 DILGA CRESCENT
- 12 PACIFIC ROAD
- 13 CAPELLA STREET
- 14 CHAMELEON DRIVE
- 15 ASHWICK CIRCUIT

Swallow Drive & Regulus Street



SECTION A-A



DILGA CRESCENT STREET VIEW

Site divided into 5 lots - A - E

- Lot A = 900m² - Potential Dual Occupancy lot
- Lot B = 675m² - Potential Dual Occupancy lot
- Lot C = 756m² - Single Dwelling lot
- Lot D = 1027m² - Potential Dual Occupancy lot
- Lot E = 1040m² - Potential Dual Occupancy lot

Tree Retention

Lot D - Tree11 as identified as having high retention value in the arborist's report

Setbacks

Swallow Drive - 8 metres (in alignment with neighbour)
 Regulus Street - 8m for Lot C
 Regulus Street - 15m + extra around retained tree for Lots D & E
 Further upper level setbacks of 600mm minimum are required to provide articulation (Rear setbacks - 4 metres to lower level & 6 metres to upper level)

Side setbacks

- Lot A - Lower - 1.5 metres to boundary shared with 50 Shaula Cres
 Upper - 4.5 metres to boundary shared with 50 Shaula Cres
 3 metres to shared boundary with Lot B
- Lot B - 1.5 metres to shared boundary with Lots A & C
- Lot C - 1.5 metres to shared boundary with Lot B
 4.5 metres to boundary with Lot D
- Lot D - 1.5 metres to shared boundary with Lots B, C & E
- Lot E - 3 metres to shared boundary with Lot D
 Lower - 3 metres to boundary shared with 2 Regulus Street
 Upper - 4.5 metres to boundary shared with 2 Regulus Street

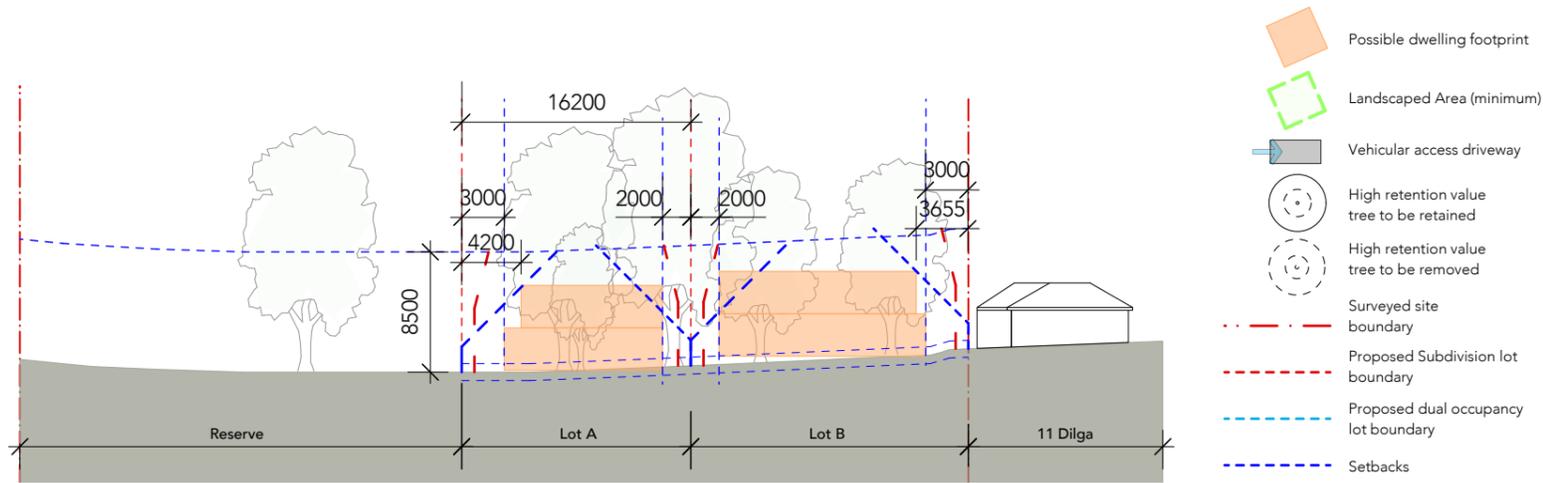
Relocation of bus shelter will be resolved during statutory subdivision process.
 Driveway position for Lot A to consider the electrical kiosk in the north east corner of the site. Drainage pit in the rear of Lot E is within the rear setback.
 Existing stormwater culverts to be avoided in vehicular crossover placements.



REGULUS STREET - POTENTIAL ELEVATION

Possible dwelling footprint	High retention value tree to be retained	Proposed dual occupancy lot boundary
Landscaped Area (minimum)	High retention value tree to be removed	Setbacks
Vehicular access driveway		Proposed Subdivision lot boundary
		Surveyed site boundary

Dilga Crescent



SECTION A-A

Site divided into 2 lots - A & B

- Lot A** = 550m² - Single dwelling lot
- Lot B** = 714m² - Single dwelling lot

Tree Retention

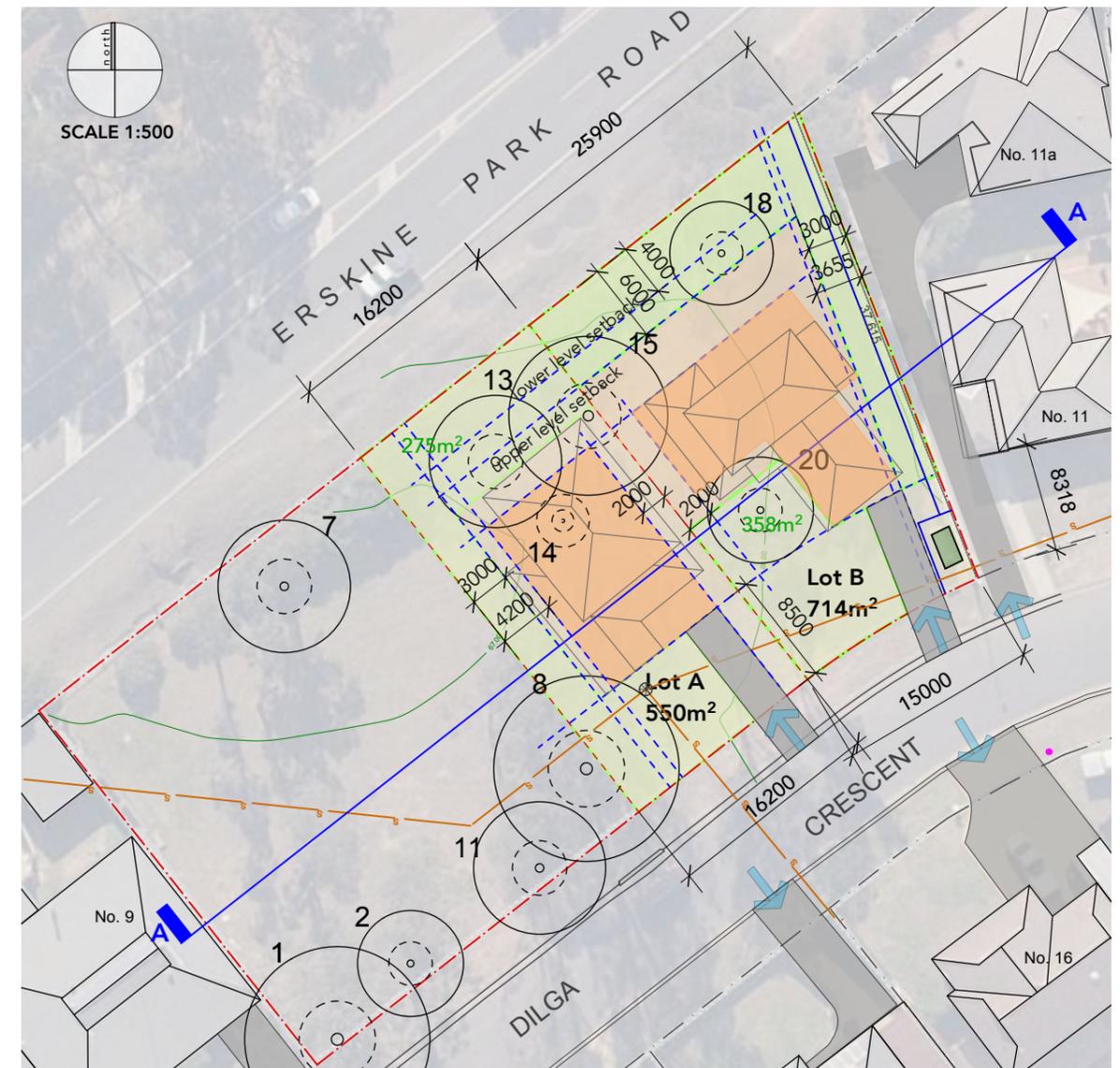
- Lot A - Trees 8, 13 & 15 as identified as having high retention value in arborist's report
- Lot B - Trees 18 & 20 as identified as having high retention value in arborist's report

Setbacks

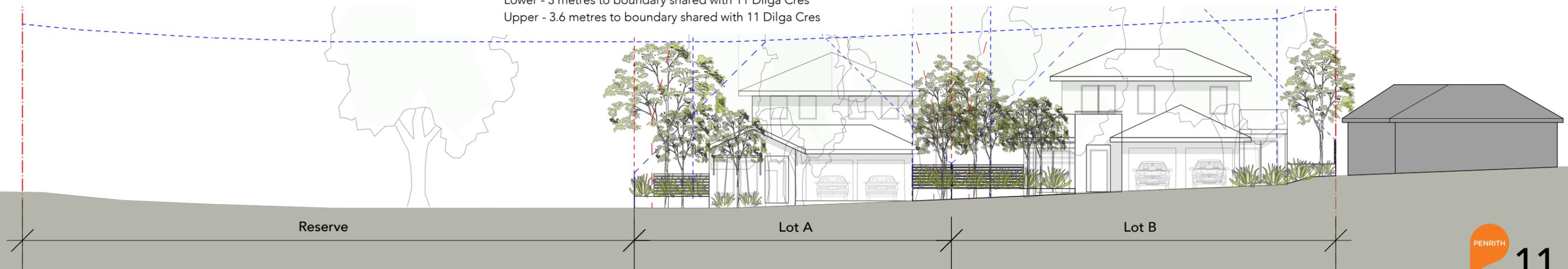
Front set-back - 8.5 metres (in alignment with neighbour) + allowance for Tree 20 on Lot B. Consideration should be given to further upper level setbacks.
 Rear setbacks - 4 metres to lower level & 6 metres to upper level.
 Easement considerations in front & side setbacks for electrical substation & sewer line

- Lot A** - Lower - 3 metres to reserve + allowance for Tree 8
 Upper - 4.2 metres to reserve
 2 metres to shared boundary with Lot B

- Lot B** - 2 metres to shared boundary with Lot A
 Lower - 3 metres to boundary shared with 11 Dilga Cres
 Upper - 3.6 metres to boundary shared with 11 Dilga Cres

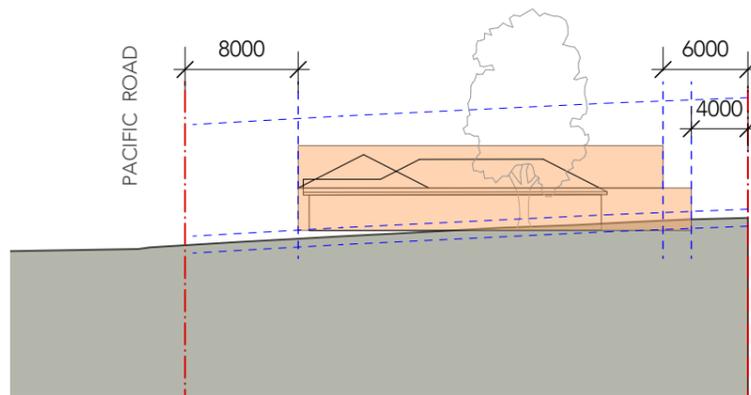


DILGA CRESCENT STREET VIEW



DILGA CRESCENT - POTENTIAL ELEVATION

Pacific Road



SECTION A-A



PACIFIC ROAD STREET VIEW

Site divided into 2 lots - A & B

Lot A = 646m² - Single dwelling lot
 Lot B = 630m² - Single dwelling lot

Tree Retention

Lot A - Trees 1, 2 & 6 as identified as having high retention value in arborist's report

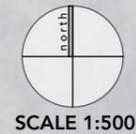
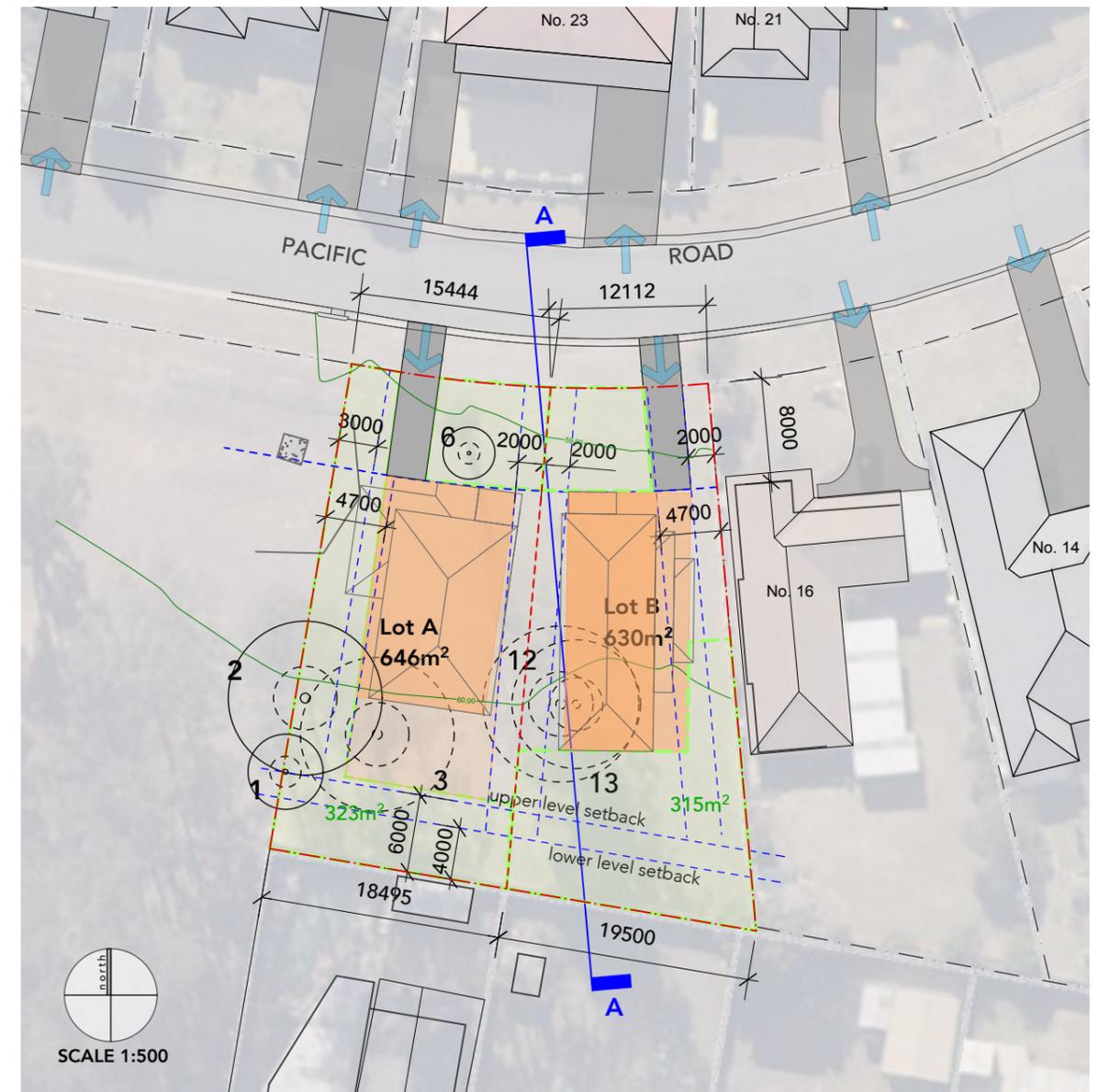
Setbacks

Front set-back - 8 metres (in alignment with neighbour)
 Further upper level setbacks of 600mm minimum are required to provide articulation
 Rear setbacks - 4 metres to lower level & 6 metres to upper level

Side setbacks

Lot A - 4.7 metres to reserve + allowance for Trees 1 & 2
 2 metres to shared boundary with Lot B
 Lot B - 2 metres to shared boundary with Lot A
 Lower - 2 metres to boundary shared with 16 Pacific Road
 Upper - 4.7 metres to boundary shared with 16 Pacific Road

Consideration of ground levels falling to drainage pit in reserve adjacent to side boundary of Lot A



-  Possible dwelling footprint
-  Landscaped Area (minimum)
-  Vehicular access driveway
-  High retention value tree to be retained
-  High retention value tree to be removed
- Proposed dual occupancy lot boundary
- Setbacks
- Proposed Subdivision lot boundary
- Surveyed site boundary



16 Pacific Rd

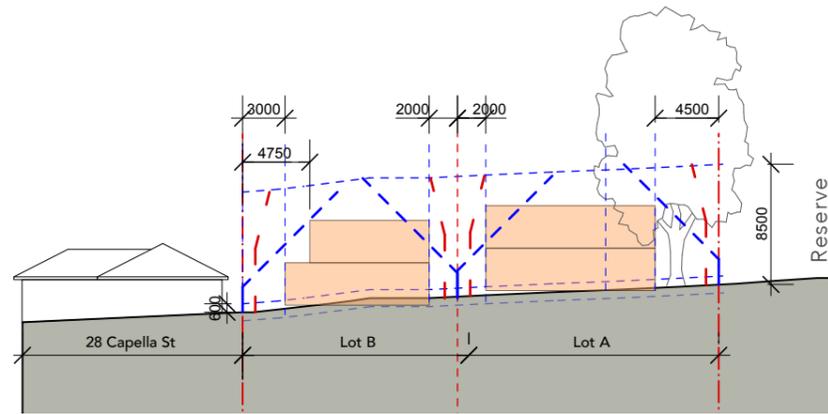
Lot B

Lot A

Reserve

PACIFIC ROAD - POTENTIAL ELEVATION

Capella Street



SECTION A-A



PACIFIC ROAD STREET VIEW

Site divided into 2 lots - A & B

Lot A = 570m² - Single dwelling lot
 Lot B = 554m² - Single dwelling lot

Tree Retention

Lot A - Tree 20 as identified as having high retention value in the arborist's report. Trees 17 & 19 retained on adjacent reserve

Setbacks

Front set-back - 8 metres (in alignment with neighbour)
 Further upper level setbacks of 600mm minimum are required to provide articulation
 Rear setbacks - 4 metres to lower level & 6 metres to upper level.

Side setbacks

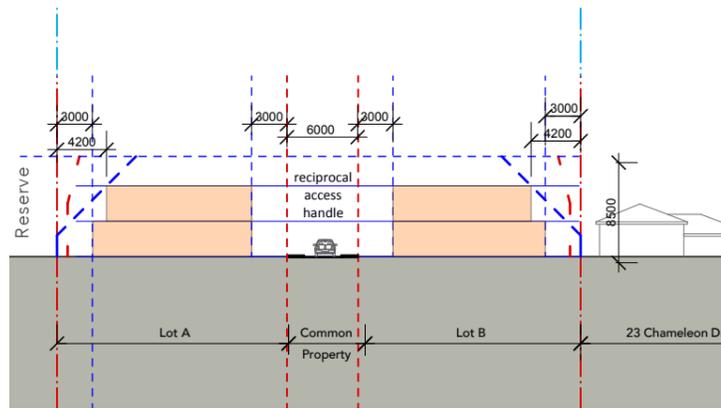
Lot A - 4.5 metres to reserve + allowance for Tree 20
 2 metres to shared boundary with Lot B
 Lot B - 2 metres to shared boundary with Lot A
 Lower - 3 metres to boundary shared with 28 Capella Street
 Upper - 4.75 metres to boundary shared with 28 Capella Street



-  Possible dwelling footprint
-  Landscaped Area (minimum)
-  Vehicular access driveway
-  High retention value tree to be retained
-  High retention value tree to be removed
-  Proposed dual occupancy lot boundary
-  Setbacks
-  Proposed Subdivision lot boundary
-  Surveyed site boundary



Chameleon Drive



SECTION A-A



PACIFIC ROAD STREET VIEW

Site divided into 4 lots - A, B, C & D

- Lot A = 562m² - Single Dwelling lot
- Lot B = 566m² - Single Dwelling lot
- Lot C = 693m² - Battle-Axe lot
- Lot D = 680m² - Battle-Axe lot

Tree Retention

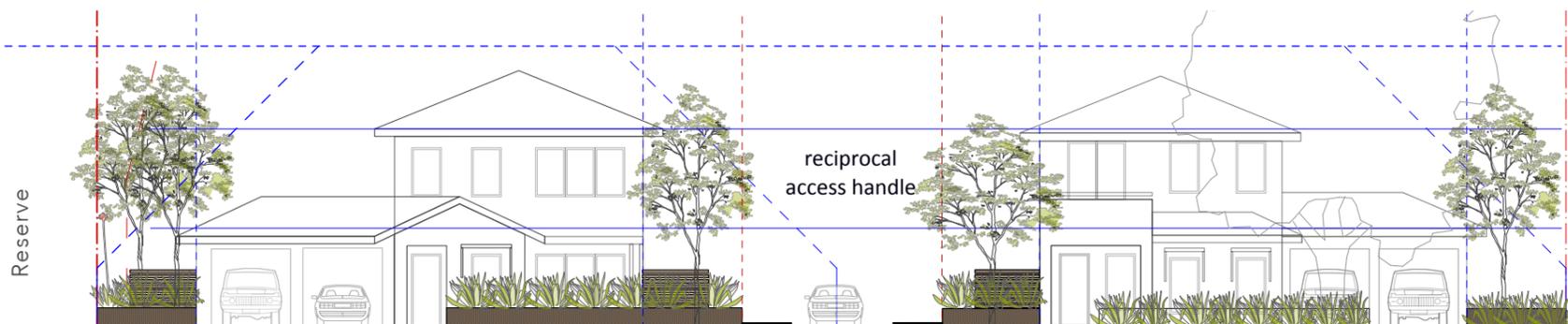
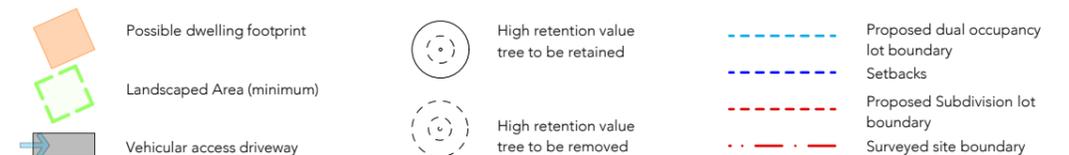
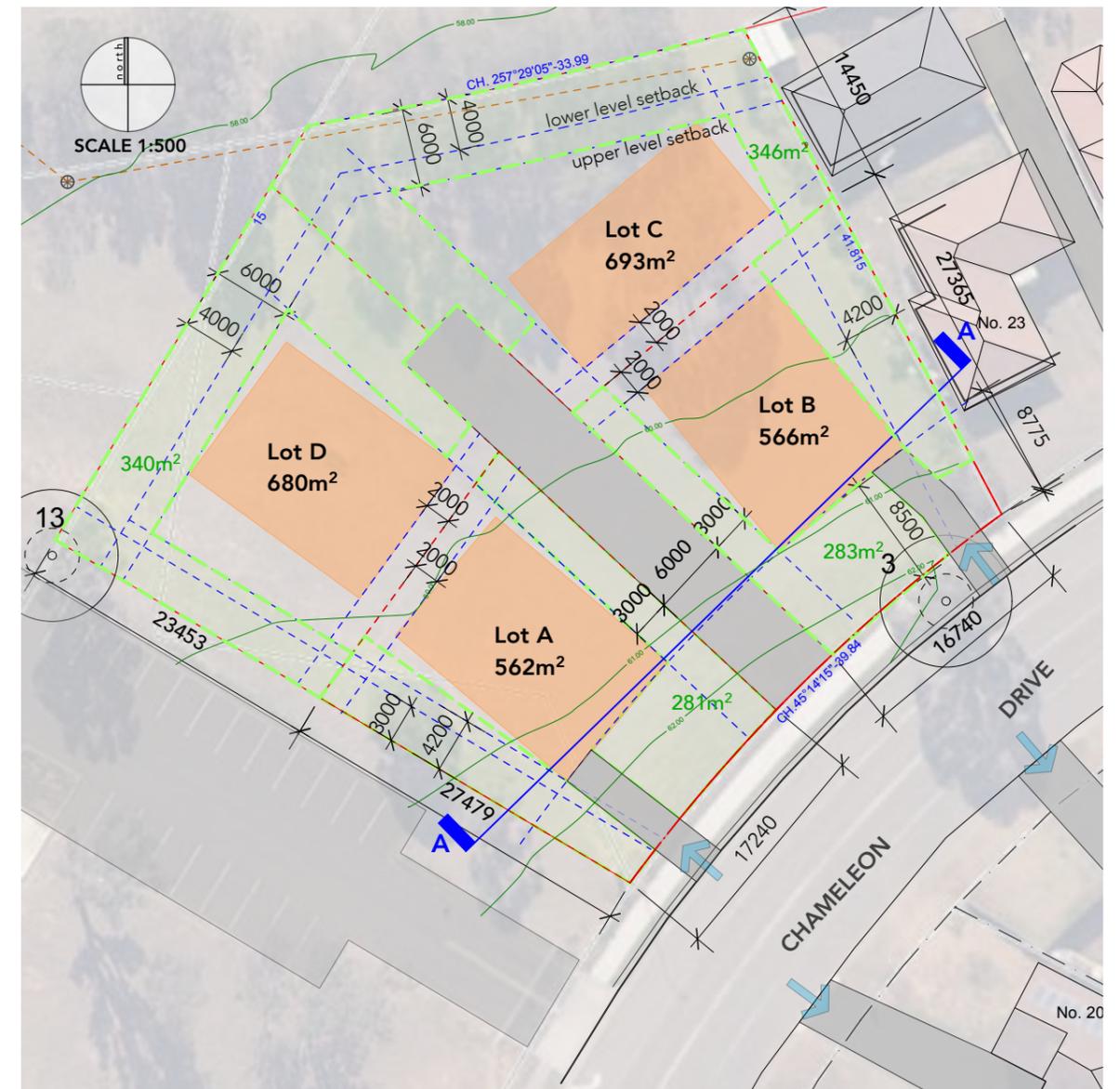
Trees 3 & 13 in public domain as identified as having high retention value in arborist's report

Setbacks

Front set-back - 8.5 metres (in alignment with neighbour).
Further upper level setbacks of 600mm minimum are required to provide articulation

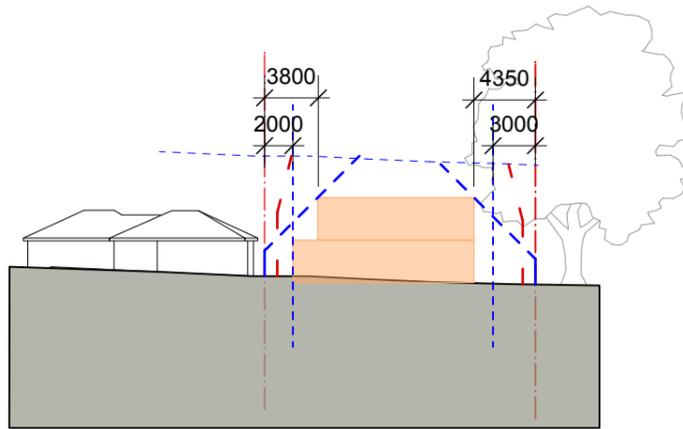
Side setbacks

- Lot A - Lower - 3 metres to reserve
Upper - 4.2 metres to reserve
2 metres to shared boundary with Lot D
3 metres to reciprocal access handle
- Lot B - 4.2 metres to 23 Chameleon Drive
2 metres to shared boundary with Lot C
3 metres to reciprocal access handle
- Lot C - 4.2 metres to 23 Chameleon Drive
2 metres to shared boundary with Lot B
3 metres to reciprocal access handle
Lower - 4m to rear boundary
Upper 6m to rear boundary
- Lot D - Lower - 3 metres to reserve
Upper - 4.2 metres to reserve
2 metres to shared boundary with Lot A
3 metres to reciprocal access handle
Lower - 4m to rear boundary
Upper 6m to rear boundary



CHAMELEON DRIVE - POTENTIAL ELEVATION

Ashwick Circuit



SECTION A-A



PACIFIC ROAD STREET VIEW

Site - Single lot

Lot = 857m² - Single dwelling lot

Tree Retention

Trees 1, 2 & 3 on adjacent site as identified as having high retention value in arborist's report to be considered in design

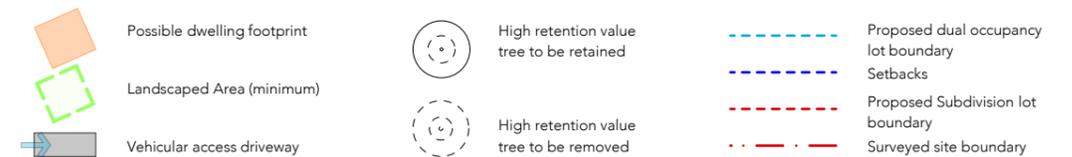
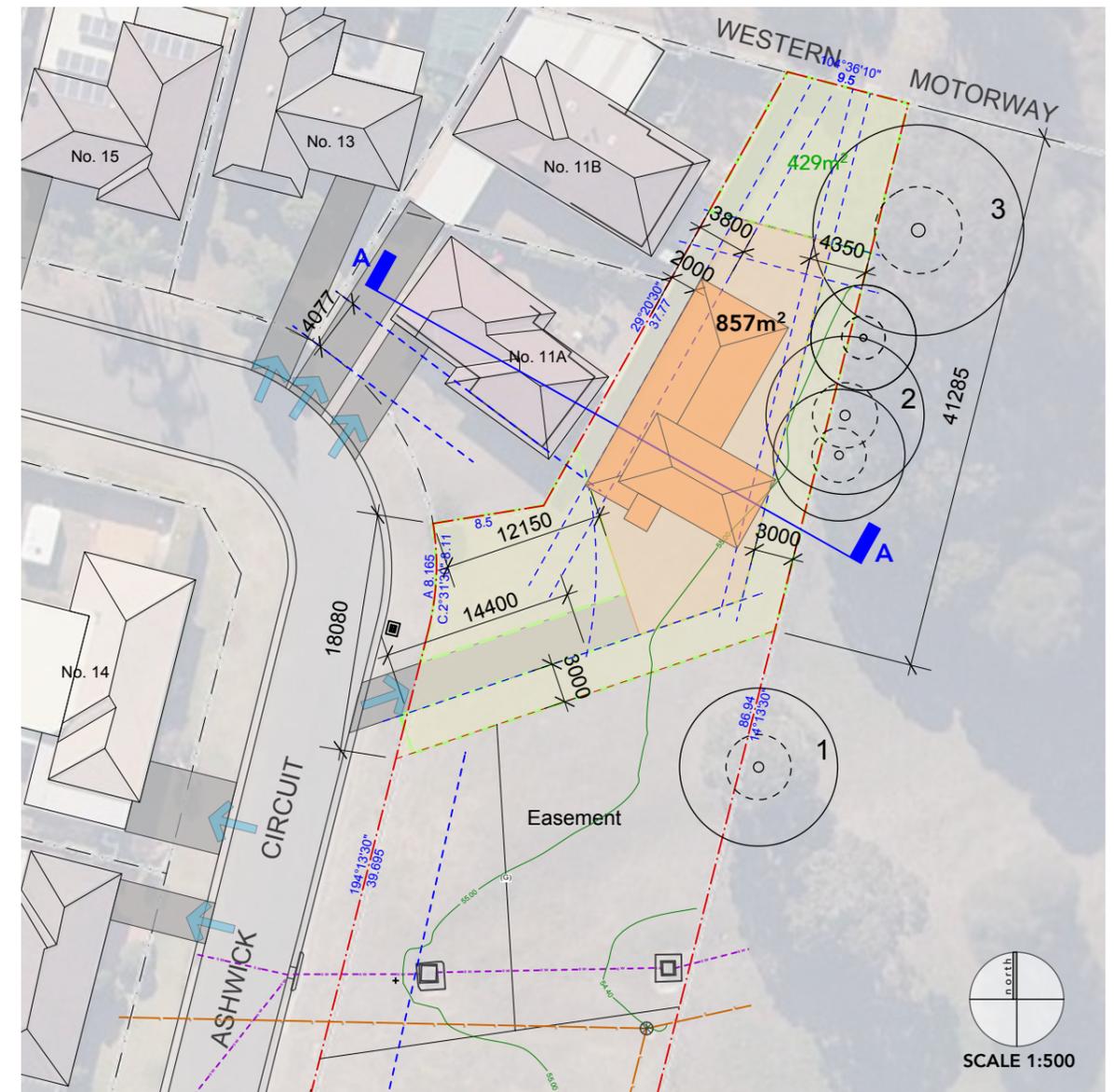
Setbacks

Front set-back - 12.15 - 14.4 metres (in alignment with neighbour)
 Further upper level setbacks of 600mm minimum are required to provide articulation
 Rear setback - Additional length to DCP rear setback to Great Western Motorway to be considered for acoustics.

South boundary considerations regarding stormwater/sewer easement.
 The part of the site is subject to localised inundation during storm events.

Side setbacks

Lot - Lower - 2 metres to boundary shared with 11 Ashwick Circuit
 Upper - 3.8 metres to boundary shared with 11 Ashwick Circuit
 Lower - 3 metres to boundary shared with Reserve Upper - 4.35 metres to boundary shared with Reserve



No 11 AshwickCircuit

Lot

Reserve

ASHWICK CIRCUIT - POTENTIAL ELEVATION



Documentation

DESIGN REVIEW PROCESS - REQUIRED DOCUMENTS

Yes No

	Yes	No
<p>Site Plan To include lot numbers and address, lot boundaries, all setbacks, site contours and easements, inclusive of ancillaries such as: location of letterboxes, water tanks, hot water systems, a/c units, aerial and satellite dishes, waste bin storage areas, composts, clothes lines indication of any outbuildings, sheds, fences retaining walls or gazebos</p>		
<p>Floor Plans indicating all internal layouts, including dimensions & total gross floor areas, as well as storage areas</p>		
<p>Roof Plan indication of pitch, eave width, material & stormwater</p>		
<p>Elevations all external elevations To include notation of colours and materials, location of water tanks, hot water systems, a/c units, aerials & satellite dishes and indication of any outbuilding, sheds, fences, retaining walls or gazebos</p>		
<p>Sections indication of site boundary, levels and finished floor levels of the house any retaining walls and/or landscape</p>		
<p>Landscape Plan To be prepared by a suitably qualified landscape professional and include lot boundaries, setbacks, location of the house and materials of all landscape surfaces, retaining walls, edging and fencing, and underground services</p>		
<p>External Colour and Materials Colours, materials and finishes to be annotated on all elevations and plans and referenced to the project specific palette.</p>		

DESIGN GUIDELINES CHECKLIST

To be completed and submitted with Design Review Documentation

	Yes	No
Roof (refer to façade guidelines)		
Pitch - 2 storey 22.5°		
Pitch - Single storey 25°		
Hip & Gable roof forms		
Min 600mm eaves overhang		
Parapets to lower levels only - 50% of façade width max.		
Combination of 1 and 2 storey elements expressed with roofs and parapets		
Material (tile and/or Colorbond- refer to Materials Colour Palette)		
Flat/Skillion roof - not visible from street		
Façade Articulation (refer to façade guidelines)		
Façade colours & materials adhere to Materials Colour Palette		
Brick base (predominant material for lower level)		
Painted light weight materials to upper level		
Setback - Primary (refer to site plans)		
Setback - Secondary (refer to site plans)		
Setbacks - Sides (refer to site plans)		
Clear front door entry - visible from street		
Shelter to front door entry (covered verandah/porch)		
Habitable room window to street façade(s)		
Façade articulation - maximum 8 metre wall length		
Garage door width - maximum 6m width across dual occupancy parent lot		
Garage door width - maximum 6m width across single dwelling lot		
Garage door colour to adhere to Materials Colour Palette		
Garage Door - set back from main façade (min 1 metre)		
Integration of shading devices (awnings, screens, pergolas & recesses)		
Walls & Windows (refer to colour palette)		
Main/base wall colour/material (face brick)		
Windows visible from the public realm to have vertical proportions - no sliding windows		
Complementary wall colour /material (upper wall) (lightweight painted FC, weatherboard, etc)		
Highlights co-ordinated (metal work, gutters/ downpipes, window frames) (Refer to materials colour palette)		
Solar access to living zone in new and existing adjacent dwelling		
Dwellings to step with existing topography. Maximum height of floor level above existing ground to be 800mm		
Retaining walls - material		
Retaining walls - maximum heights		

Fencing (refer to Landscaping & Fencing)		
Fence materials to adhere to Materials Colour Palette		
Front Boundary - predominantly planted (max 30% built)		
Fences along boundaries adjacent to reserve		
Fences to rear and shared side boundaries		
Security side gate and block off fences		
Integrated mailbox		
Integration of landscaping to soften edges		
Secondary fence (Swallow Drive & Chameleon Drive sites only)		
Landscaping (refer to Fencing & Landscaping)		
50% of site landscaped (min 2 m wide - not including paving & driveways)		
Minimum 25% landscaping in front set- back		
Extents of paved paths & driveways - minimised		
Trees in street frontage (75 litre pot size; min 5-7m mature height)		
Tree in rear set-back (50 litre pot size; min 8-10m mature height)		
Tree retention of high retention value trees (refer to individual sites)		
Integration of landscaping to define site boundary		
Letterbox style & location		
Sheds/out buildings - not visible from street		
Bins & Services Visibility (refer to Fencing & Landscaping)		
Waste bin storage to be screened		
Air conditioner condenser units are not to be visible from the street		
Satellite dish/Antenna not visible from the street. Maximum 900mm dish size.		
Clothes drying areas are not to be visible from the street		
Other ancillary items - not visible from public domain		



PENRITH

PENRITH
CITY COUNCIL

produced in cooperation with OLSSON

Penrith City Council
Penrith Civic Centre
601 High St , Penrith
NSW 2750 Australia

T (02) 4732 7777
F (02) 4732 7958
M council@penrith.city

penrithcity.nsw.gov.au